

EXHIBIT E
Preliminary Sign Package

NOTE: Exhibit F - Mitigation Monitoring Program, Exhibit G - Proposed Phasing Plan, Exhibit H - Applicable Mitigation Measures, AND Exhibit I - Design Items Are Attached At The Rear Of The Binder

EXHIBIT "E" SHOPPING CENTER SIGN CRITERIA

Exhibit "E-1" – Proposed Freestanding Entry Pylon Sign: One (1) at 35' in height

Exhibit "E-2" - Proposed Freestanding Pylon Sign(s): Two (2) at 25' in height

Exhibit "E-3" - Proposed monument signage: (6' in height)

Exhibit "E-4" - Site Plan

MASTER SIGN PROGRAM CROSSROADS SHOPPING CENTER NEC CLARIBEL ROAD AND OAKDALE ROAD RIVERBANK, CA

1. PURPOSE AND INTENT:

- A. This criteria has been established for the purpose of maintaining a continuity of quality and aesthetics throughout the shopping center for the mutual benefit of all Tenants, and to comply with the regulations of the City of Riverbank.
- B. The intent of the sign criteria is to offer the Tenant design flexibility and to incorporate common design elements. The signs specified will offer optimum tenant identity when designed in conformance with the design standards.
- C. Conformance will be strictly enforced, and any installed non-conforming or unapproved signs will be removed at Tenant's expense.

2. GENERAL REQUIREMENTS:

- A. (Excepting Anchor Tenants, any tenant in excess of 30,000 square feet) prior to fabrication or applying for city approvals, each Tenant shall submit to the Landlord, for written approval, two (2) copies of detailed shop drawings (one (1) in full color) indicating the location, size, layout, design, color, illumination, materials, and method of attachment.
- B. (Excepting Anchor Tenants) All signs shall be reviewed by the Landlord for conformance with the established sign criteria. Approval or disapproval of sign submittals shall remain the sole and absolute right of the Landlord.
- C. All permits and fees for signs and their installation shall be obtained by the Tenant or his representative.
- D. All signs shall be constructed at the Tenant's sole cost and expense.
- E. Tenant shall be responsible for the installation and maintenance of his sign. Should Tenant's sign require maintenance or repair, Landlord shall give Tenant thirty (30) days written notice to effect the maintenance or repair.

Should Tenant fail to do so, Landlord shall undertake repairs and Tenant shall reimburse Landlord within ten (10) days from the receipt of invoice.

3. STYLE:

- A. (Excepting Anchor Tenants) Tenant signs must be self-illuminated individual pan channel metal letters, minimum 5" deep, with plexi-glas face.
- B. If the Tenant does not have an established exterior sign identity, the style of lettering shall be similar to Helvetica Medium.

4. CONSTRUCTION REQUIREMENTS:

- A. (Except Anchor Tenants) Sign construction shall be individual aluminum pan channel letters, 5" deep aluminum returns and 3/4" trimcap. Letter faces shall be 3/16" thick plexiglas as manufactured by Acrylite or Rohm & Haas for outdoor use. Interior neon tubing will be 3" on center or less. Neon the same color as plexiglas face. No labels visible on signs, except UL label and County sticker; no sign company name to be visible from ground. All signs shall be fabricated using full welded construction.
- B. All sign bolts, fastenings and lips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, bronze, nickel or cadmium plated. No black iron materials of any type will be permitted.
- C. All cabinets, conductors, crossovers, transformers, wiring and other equipment must be concealed behind the sign fascia.
- D. (Except for Anchor Tenants) The face of the channel letters and logos shall be acrylic plastic (3/16" thick minimum) fastened to the metal frame by a trim cap matching the color of the letter returns.
- E. All signs and their installation must comply with all local building and electrical codes and bear a U.L. label if required by the local governing agency.
- F. The stroke of the letter will dictate the number of rows of neon tubing and the milliamp requirements for internal illumination. The tubing is to be installed and labeled in accordance with the "National Board of Fire Underwriters Specifications".

5. INSTALLATION:

- A. (Except for Anchor Tenants) All signs are to be installed under the direction of the project superintendent. Sign work is not to commence on Tenant's Premises unless the project superintendent has reviewed a signed copy of the approved shop drawings. Each sign will be inspected for conformance with the detailed shop drawings.

- B. Tenant's sign contractor shall completely install and connect the sign display.
- C. The sign contractor shall repair any damage to the building caused by his work. All penetrations of the building shall be neatly sealed in a watertight condition and shall be patched to match the adjacent finish to Landlord's satisfaction. Damage to the building that is not repaired by the sign contractor shall be corrected at Tenant's expense.
- D. Landlord will inspect Tenant's sign installation and require Tenant to have any discrepancies and/or code violations corrected at Tenant's expense.

6. LOCATION:

- A. All signs shall be centered on sign fascia vertically and horizontally as detailed on the attached drawings.

7. GUARANTEE:

The entire sign display will be guaranteed for one (1) year against defects in material and workmanship. Defective parts shall be replaced without charge.

8. INSURANCE:

The sign company shall carry workmen's compensation and public liability insurance against all damage suffered or done to any and all personal and/or property while engaged in the construction or installation of signs in an amount not less than \$1,000,000.00 per occurrence.

9. SIZE OF LETTERS:

A. Maximum letter height for in line and end cap tenants less than 3,000 square feet shall be 24" (using either solely upper case letters or solely lower case letters) with the maximum length not to exceed 80% of lineal frontage. Tenants utilizing a combination of upper and lower case letters will be allowed a total letter height not to exceed 30". Total square footage allowed is 1-1/2 square feet per each lineal foot of store frontage. For example, if an end cap tenant's suite contains three frontages, such tenant will be allowed signs on its three frontages.

B. Maximum letter size for in line, end cap or a freestanding tenant with a building size in excess of 3,000 square feet shall be 36" with maximum length not to exceed 80% of lineal frontage. Total square footage allowed is 1-1/4 square feet per each lineal foot of store frontage.

C. Freestanding, stand alone building tenants (i.e., individual stand alone restaurants, financial institutions, retail establishments) with four frontages will be allowed one sign on each building frontage but must conform to calculations of frontage x 1-1/4 square feet and an individual letter height not to exceed 36".

D. Major in line or freestanding tenants, "Major Tenants" (any tenant in excess of 10,000 square feet) please refer to Section 18 for wall signage requirements.

10. NUMBER:

Each in line non end-cap shop tenant will be permitted one (1) sign unless the Premises has a building frontage on more than one side, in which case Landlord must approve the number of signs, not to exceed two (2) total.

11. SIGN COPY:

Wording of signs for tenants (excluding Major Tenants) shall not include the product sold except as part of the tenant name, insignia, or logo.

12. COLOR:

A variation of color from one Tenant to another is encouraged All letters of the sign shall be one color. Logo colors may differ from sign color. The trim caps and returns are to be dark bronze or such other compatible color. Major or national tenants are an exception to the provisions contained within this paragraph and are allowed to utilize their nationally identified colors.

13. LOGOS:

Tenant will be permitted to display one (1) logo at each sign location subject to Landlord's approval. The logo area shall be included within the sign area limitation. The logo shall be defined as a graphic symbol commonly used by the Tenant for identification.

14. UNDER CANOPY SIGNS:

The Tenant is responsible, at tenant's discretion, for providing an under canopy sign, to hang no lower than 8 feet from ground. The maximum size is to be 6 square feet and the copy is to be business name only. Design and copy to be approved by Landlord and City before installation.

15. STORE FRONT AND RECEIVING DOOR SIGNAGE:

A. Tenant shall be permitted to place a sign of not more than 144 square inches at the bottom of the window panel adjacent to the store front entry door. The sign shall be decalced or adhered lettering indicating hours of business, emergency phone numbers, approved credit cards, etc. No other window signage will be permitted at any time.

Each tenant who has a non-customer door for receiving merchandise may have uniformly applied on said door in location, as directed by the Landlord,

in block letters not to exceed 8", the tenant's name and address. Where more than one tenant use the same door, each name and address shall be applied.

16. PROHIBITED SIGNAGE:

- A. Except as provided herein, no advertising placards, external display, decorative lighting, flags, balloons, banners (excepting Grand Opening banners which shall be removed by Tenant at Tenant's cost no later than 30-45 days from Tenant's opening date), pennants, names, insignia, trade marks or other descriptive material, shall be affixed or maintained upon either the interior or exterior glass panes and supports of the show windows and doors or upon the exterior walls of the building.
- B. Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles is prohibited.

17. EXPIRATION OF LEASE TERM:

At the expiration or a sooner termination of tenant's lease term, Tenant shall remove its sign and patch and repair the sign fascia including repairing any damage to the sign fascia and the replacement of any building materials damaged by tenant's installation or removal of tenant's sign. Additionally, tenant will be required to re-paint tenant's sign fascia to match the adjacent finish to the Landlord's satisfaction.

18. MAJOR TENANTS:

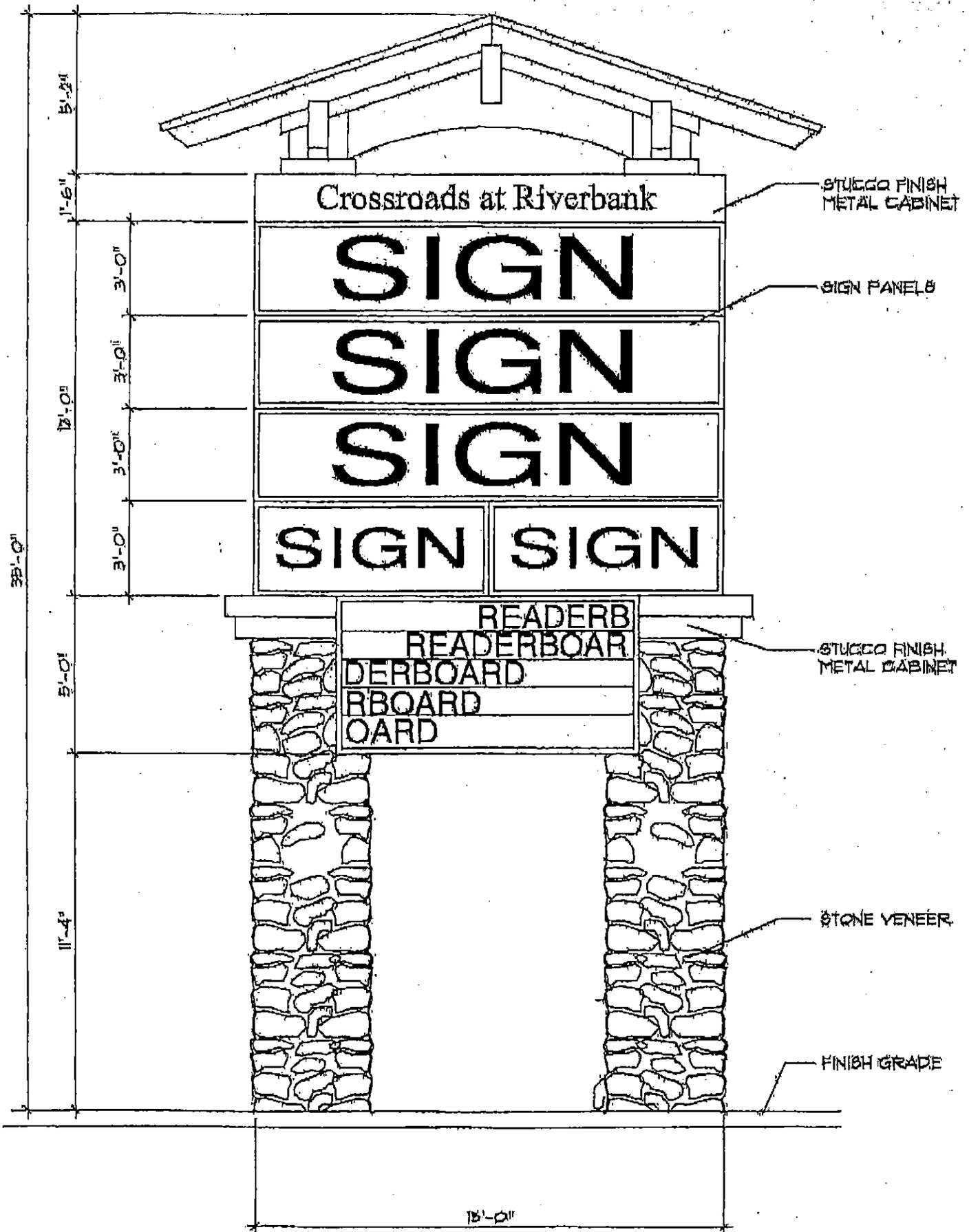
The provisions of this sign criteria shall not be applicable to identification signs of occupancies designed by the Landlord as major tenants (any tenant in excess of 10,000 square feet). These tenants may install their standard signage, which appears on buildings operated by them in a majority of locations in California providing the signs are architecturally compatible, are fabricated and installed in first class condition and have been approved by the Landlord.

19. FREE STANDING SIGNS:

The intent of this Center is to incorporate major and regional tenants onto three (3) free standing center pylon signs as further depicted on the attached Exhibit "E-1" (Corner Entry Pylon sign) and "E-2" in the locations shown on the attached Site Plan Exhibit "E-4". Additionally, freestanding single pad tenants may have the right to install (at their sole cost and expense) a small monument sign for their parcel as shown on the attached Exhibit "E-3", not to exceed six feet (6') in height and a total of six feet (6') in width with a sign area not to exceed 25 square feet per side. The individual tenant panel to be installed by Tenant must be approved and permitted by Landlord and the

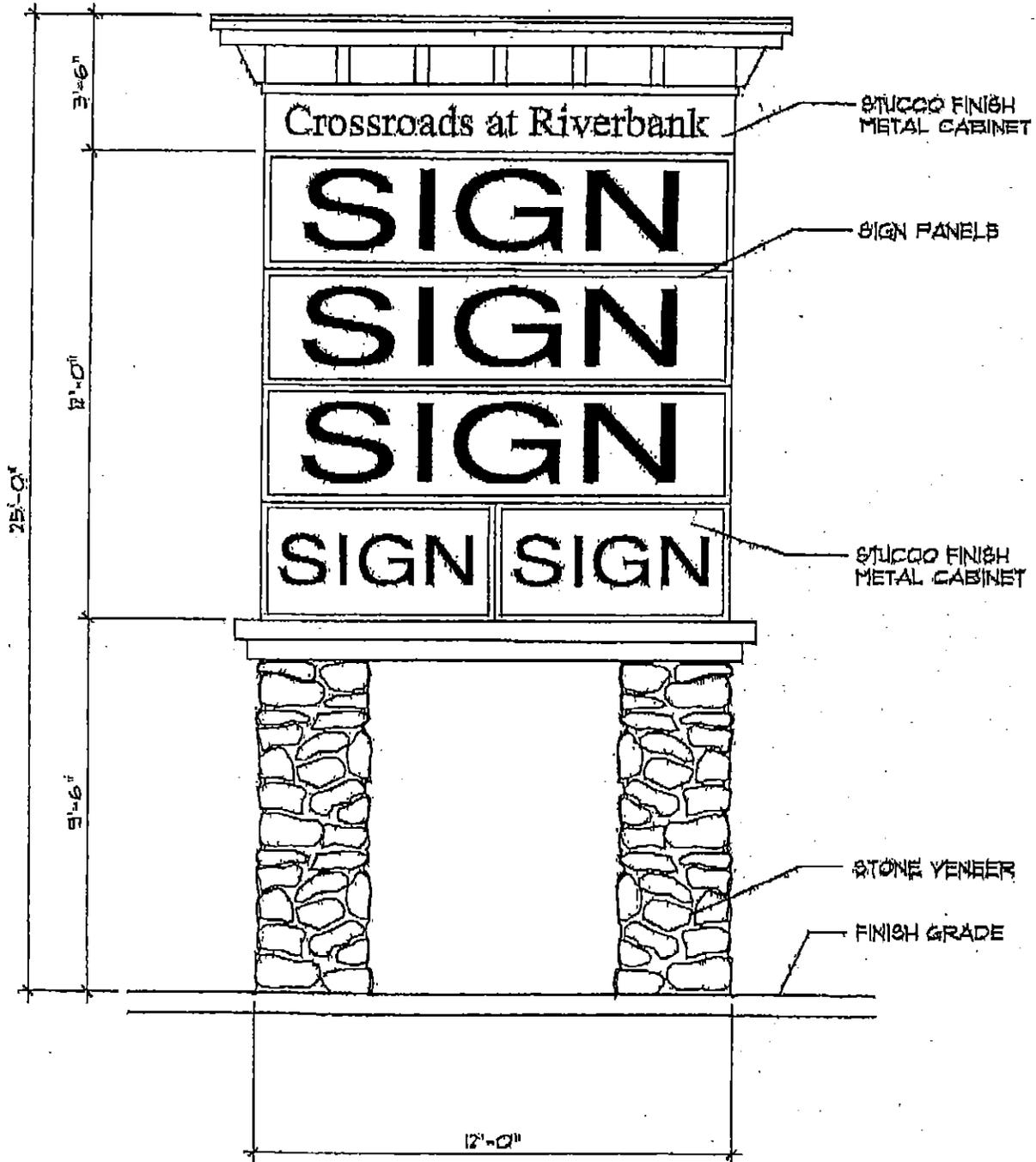
City prior to installation. The Tenant may have their standard copy style and colors as long as such copy style and colors are architecturally compatible with the pylon sign as determined by Landlord and the City in their sole discretion. Tenant will not be allowed representation on the pylon sign unless allowed by Landlord in its sole discretion. To the extent Tenant is allowed representation on the pylon sign, Tenant will reimburse Landlord their pro-rata share of the costs associated with the initial design, permitting, construction, fabrication, installation and electrical connections of the sign in common with the other tenants located on the sign based on Tenant's sign panel area as the numerator and the total tenant signage contained on the sign as the denominator.

Exhibit "E-1" – Proposed Freestanding Entry Pylon Sign



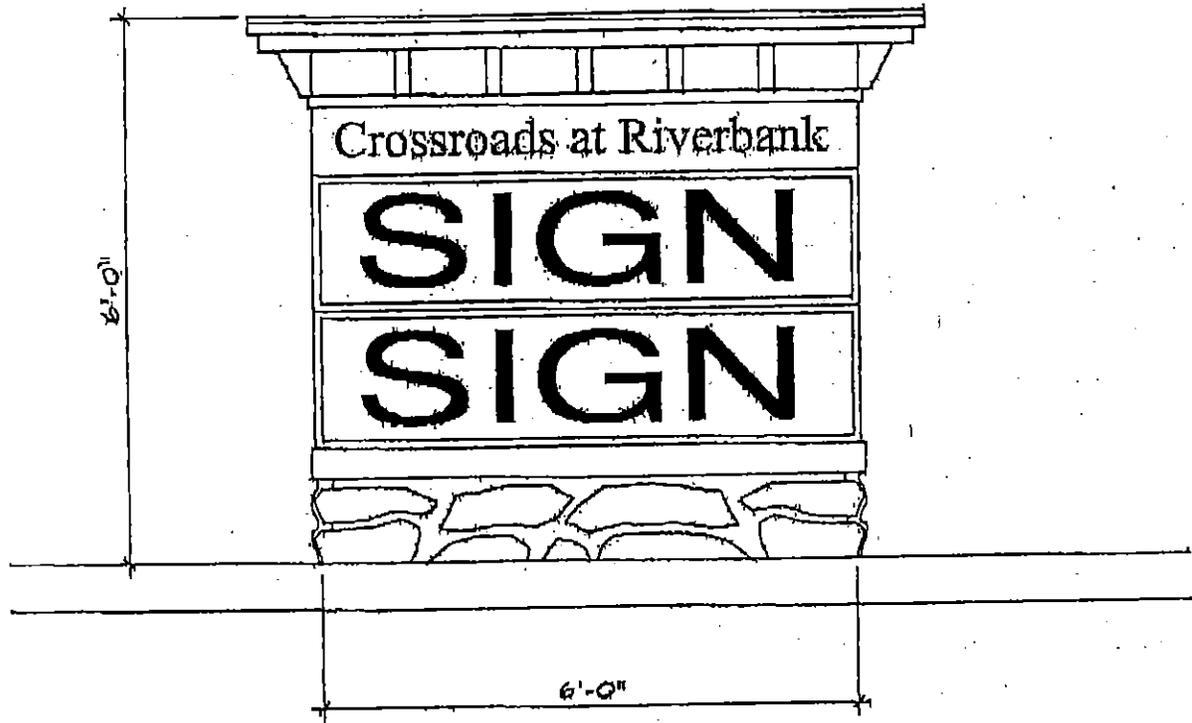
"E1" FREESTANDING CORNER PYLON SIGN

Exhibit "E-2" Proposed Freestanding Pylon signage



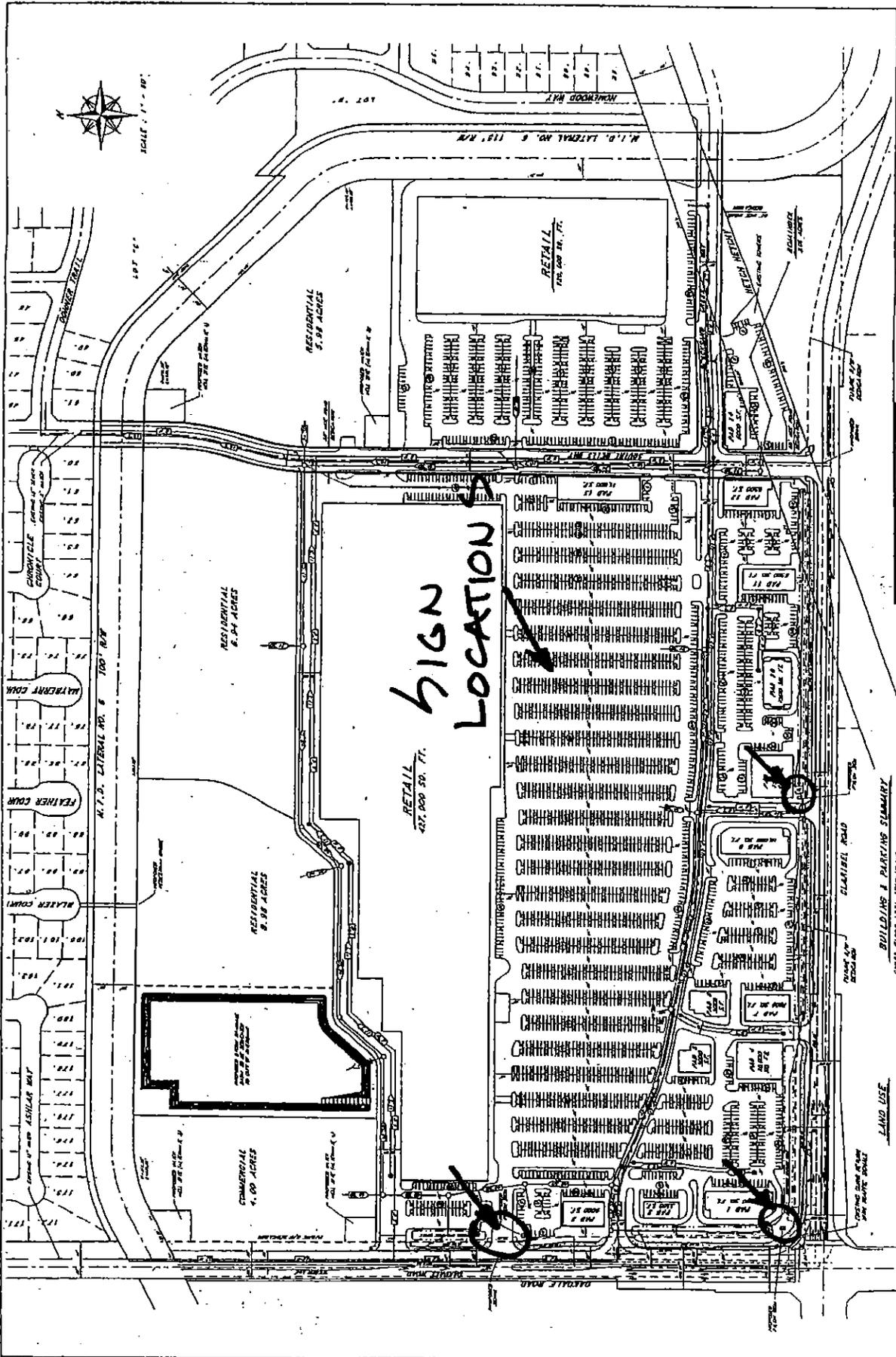
"E2" FREESTANDING PYLON SIGNS

Exhibit "E-3" Freestanding Monument Signage



"E3" PROPOSED MONUMENT SIGNAGE

Exhibit "E-4", Site Plan



SIGN
LOCATION

RETAIL
475,000 SQ. FT.

RESIDENTIAL
5.93 ACRES

RESIDENTIAL
6.24 ACRES

RESIDENTIAL
8.38 ACRES

COMMERCIAL
4.00 ACRES

DATE	11/11/11
SCALE	1" = 40'
PROJECT	THE CROSSROADS
SHEET NO.	1
TOTAL SHEETS	1
DRAWN BY	...
CHECKED BY	...
APPROVED BY	...

THE CROSSROADS
CITY OF WASHINGTON, DISTRICT OF COLUMBIA



BUILDINGS & PARKING SUMMARY

475,000 SQ. FT. RETAIL	11,000 SQ. FT.
2,000 CAR PARKING	100,000 SQ. FT.
100,000 SQ. FT. OFFICE	100,000 SQ. FT.
100,000 SQ. FT. RESIDENTIAL	100,000 SQ. FT.
100,000 SQ. FT. COMMERCIAL	100,000 SQ. FT.

LAND USE

RETAIL	475,000 SQ. FT.
OFFICE	100,000 SQ. FT.
RESIDENTIAL	100,000 SQ. FT.
COMMERCIAL	100,000 SQ. FT.
PARKING	100,000 SQ. FT.

**EXHIBIT F - CROSSROADS COMMUNITY SPECIFIC PLAN EIR
MITIGATION MONITORING PROGRAM**