

YOU CAN BUILD IT

Development Services Department – Building Division
6617 Third Street – Riverbank – California 95367

YOU NEED A PERMIT IF YOU ARE

Building or installing:	Patio, gazebo Chimneys Garage Ventilation, heating or air-conditioning supply or exhaust Swimming pool Tool or storage shed exceeding 120 square feet
Adding or changing:	Rooms Dormers, bay windows or other wall openings Water heater or any other parts of the plumbing Furnaces, or any other parts of the heating and gas system Circuits or any other parts of the electrical system Walls to a porch Garage to livable area
Replacing or repairing:	Roofing Termite work (replacing siding, foundation, etc.) Porches Existing stone, brick or concrete Wall covering
Demolishing	Any structure, or part of a structure, or any other changes that affect the structure of any building, even a tool shed, on your property. (This requirement is to ensure that demolished structures are removed from the tax rolls.)

YOU DO NOT NEED A BUILDING PERMIT FOR: fences 7-feet in height; movable cases, counters/partitions not over 5-feet 9-inches (5'9"); platforms, walks, driveways not more than 30-inches above grade and not over any basement or story below; painting, papering and similar finish work. ***If you are in doubt as to whether or not a permit is required or have any questions, call the Building Department at (209) 863-7128.***

Building Division

24-hour inspection recorder (209) 869-6286
FAX (209) 869-7126

Donna Kenney, Building & Planning Manager
(209) 863-7124 e-mail dkenney@riverbank.org

Miguel Alaniz, Building Inspector II
(209) 863-7194 e-mail malaniz@riverbank.org

Janet Smallen, Sr. Community Development Specialist
(209) 863-7128 e-mail jsmallen@riverbank.org

MINIMUM STANDARDS FOR RESIDENTIAL PROPERTY

Accessory buildings are normally incidental to a single-family dwelling provided that such buildings are constructed concurrent with, or subsequent to the construction of the single-family dwelling. "Normally incidental" shall be deemed to mean that, in addition to a two-car garage (either attached or detached), the size of the accessory building does not exceed 20 percent of the living area of the dwelling. (Ord. 88-14)

- ❑ A detached accessory building, other than a covered patio as defined herein, may occupy not more than 50% of a required rear yard, subject to the following requirements within an "R" district.
- ❑ No detached accessory building shall be closer than 6-feet to the main building, inclusive of roof covering
- ❑ No detached accessory building shall be allowed within the required yard areas, inclusive of roof covering.
- ❑ Seven and one-half (7.5) feet shall be the maximum height for a "shed" located at the setback line. A shed height may be increased one and one-half (1.5) feet for every one (1) foot back from the setback line to a maximum height of fifteen (15) feet.

Height Limit:

For dwellings and other main buildings - 35 feet.

For accessory buildings:

- a. Sheds: A subordinate structure or building used primarily for storage purposes, of a height no greater than six feet and the total square footage of which does not exceed 120 square feet. Sheds that exceed 120-square feet shall require a building permit.
- b. Gazebos, Arbors 15-feet height: An accessory building consisting of a detached, covered, free-standing, open-air structure not exceeding 300-square feet.
 - ✓ A detached gazebo, arbor shall not be located closer than 6-feet to the main building inclusive of roof covering; shall not exceed a maximum height of 15-feet.

Fencing: No fence (excluding wire fences, and non-solid fences which do not limit visibility as determined by the Planning Director) shall not be constructed in excess of eight feet in height within any side or rear yard, except fences within the side or rear yard which enclose electrical substations which may be constructed to the heights required by law.

Small architectural accent fences within the required 15-foot front yard setback, are allowed to be constructed no higher than 3.0 feet out to the back of the sidewalk. They shall be constructed and maintained so to be harmonious with the neighborhood. In no case may a utility meter be enclosed.

Front yard Courtyards. Courtyard is defined as an uncovered area partly or wholly enclosed by buildings or walls and used primarily for supplying access, light, and air to the dwelling. Walls shall not enclose more than two sides of the courtyard. Courtyard walls shall be no higher than 4 feet 6-inches. Front yard courtyard fences shall be constructed of material and colors consistent and complementary to the design of the main structure. Courtyards shall be determined by the

Community Development Director and it is recognized that not all dwelling types will have a courtyard. Courtyard fences shall be located no closer than 13-feet behind front property line.

- ❑ Solid fences, walls, hedges and retaining walls not more than 7-feet in height may occupy any required yard or other space, except that fences, walls, hedges and retaining walls shall be no higher than 3 feet when located in the required front yard setback area, in the required setback areas along the side street of a corner lot and along the rear or side lot line of a reversed corner lot where it abuts the front yard of the adjoining key lot.
- ❑ Within the front or street side yard of a corner lot in any district there shall be no solid fence, wall or hedge height greater than 3 feet nor any obstruction other than a post, building column or tree not more than 2-feet in diameter, within 15 feet of the flow line of the adjacent gutter, or if no curb exists, within 15 feet of the street edge of pavement.
- ❑ Notwithstanding any other regulation herein, fences with 90% transparency no higher than 5 feet may occupy the required front yard setback area along the side street of a corner lot and along the rear or side lot line or a reverse corner lot where it abuts the front yard of the adjoining key lot. Vision through the fence shall remain totally unobstructed at all times.
- ❑ The height of a fence shall be measured from the higher property elevation.
- ❑ No obstruction to view in excess of 3 feet in height shall be placed in any corner or reverse corner lot within a triangular area formed by the extension of the lot line to a point of intersection and a line connection them at a distance of 30-feet to said intersection.
- ❑ The Community Development Department has provided for residents, a brochure, [Fence Regulations](#), which can be obtained at the offices of the Building Department.

Yards and Open Spaces Required:

Front yard setback,	10-feet min. to porch/habitable space
Side or Rear yard setback when lot abuts an arterial	10-feet
Side-yard setback for corner lot (street side)	10-feet
Side or Rear yard setback for interior lot for Crossroads Community for rear yard setback	5-feet / 10-feet
Garage setback, Minimum	20-feet
Garage setback with swing-in entrance	10-feet

- ❑ Detached accessory buildings - 6 feet from any other buildings.
- ❑ A detached accessory building other than a covered patio as defined herein, may not occupy more than 50% of a required rear yard.
- ❑ Within an "R" District, no detached accessory building shall be closer than 6-feet to the main structure.
- ❑ Buildings, 5-feet from waters edge of a swimming pool inclusive of roof covering.
- ❑ Lot Coverage: No more than 50% of the lot may be covered by buildings.

BUILDING CODES

CHECK WITH THE BUILDING DEPARTMENT FOR INTERPRETATIONS OF THE CODES AND INFORMATION REGARDING NEW STATE ENERGY CONSERVATION LAWS.

While zoning deals with your property and the relationship of your building to the neighborhood, building codes deal with the building itself. Identified usually as Building, Plumbing, Mechanical and Electrical Codes, they are designed to safeguard health and safety in every building.

The Building Code

This code specifies structural requirements, such as the sizes of rafters and joists, lintels over doors and headers over windows that you will need to span a particular distance. This information is usually in the form of charts. The Building Code also has specifics about foundations, how thick masonry must be, whether pier foundations are permitted, footing sizes required and other details. Once you know the sizes and types of construction materials you will be required to use, you will have a sound basis for figuring your costs if you do the work yourself, and you will have working knowledge of the situation if you hire a professional to do some or all of the work.

The Mechanical Code

This code tells you what you can and cannot do with the mechanical installations in your home, such as heating, cooling, air-conditioning and ventilation. You should check with your Building Department for specifics to avoid the hazards of improper installation.

The Plumbing Code

This code governs all pipes that carry water into a house and the waste pipes that carry it back out to the sewer or septic tank. The kinds of pipe permitted are also specified (copper, iron plastic, etc.) These regulations vary widely and you should be sure you get the specific information from the Building Department. Hot water heaters, sinks, toilets and dishwashers are all covered by codes.

The Electrical Code

This code tells you what you can and cannot do with the wiring of your home. Again, you should check with the Building Department for specifics. The dangers of inadequate wiring and improper installation are great, and it is important to follow the regulations very carefully.

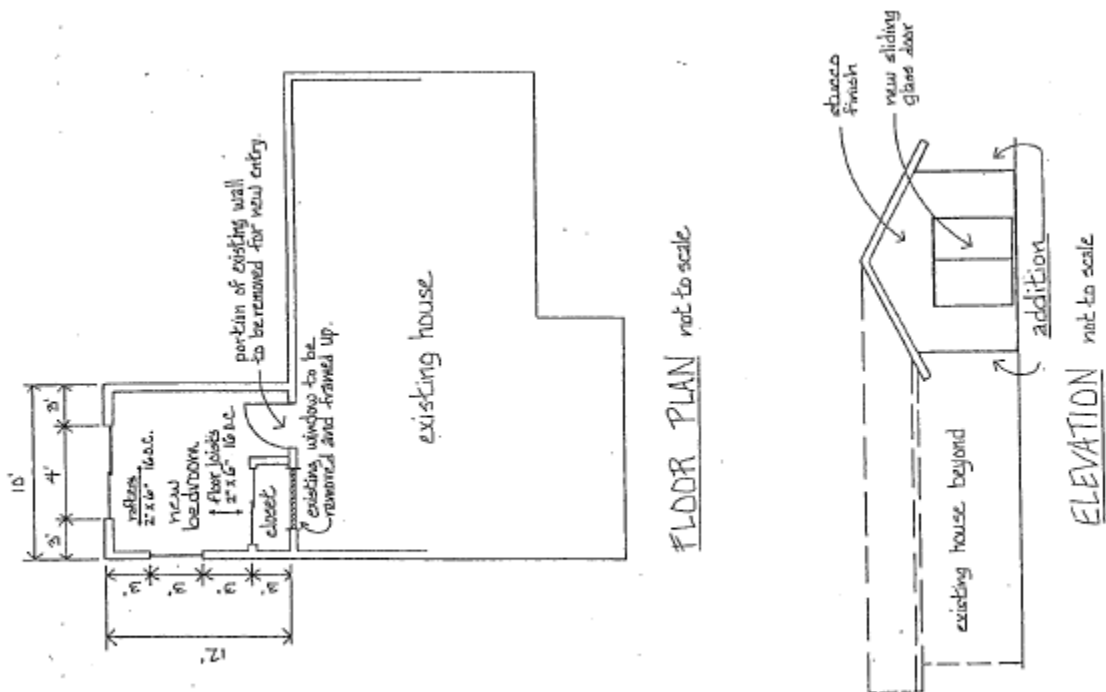
FLOOR PLAN

This is the easiest drawing to do and the one from which all your other drawings can be developed. It will show PERMANENT or STRUCTURAL elements of your new construction, including the following:

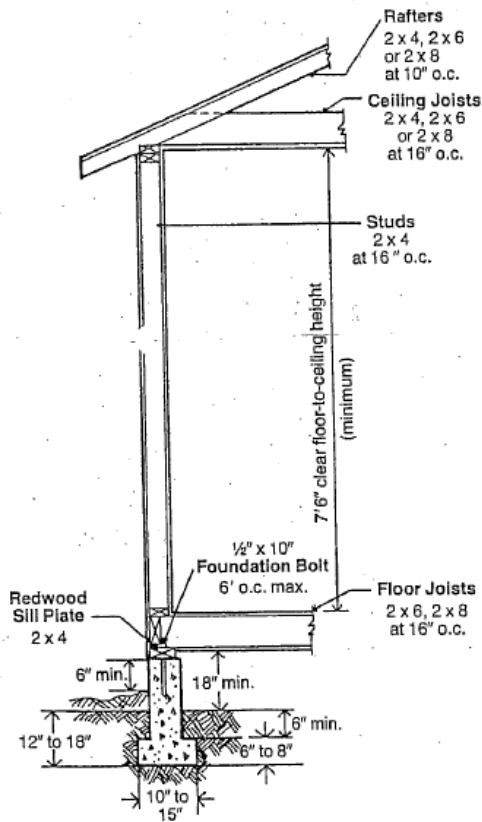
- ✓ Width and shape of rooms, doors and windows
- ✓ Big appliances like stoves
- ✓ Plumbing fixtures like bathtubs and toilets
- ✓ Mechanical equipment like heater and ventilators
- ✓ Electrical outlets and switches
- ✓ Closets and built-in counters.

You do not have to show **MOVEABLE** objects like furniture and you don't have to draw the entire house, but you should draw enough of the existing structure to indicate exactly where the new room or addition fits in – adjoining hallways, windows that will be blocked-up, etc. Materials used should also be written neatly on the drawing (linoleum flooring, aluminum windows, etc.) Rooms should be labeled. Simple plans can include framing information. One note on the plan can indicate the size and spacing of ceiling or floor joists, wall studs, roof rafters, primary beams or door and window headers. Be explicit about dimensions. You may know the exact size of your patio, but the inspection may not.

By convention, the width of room is measured from the outside of the exterior wall to the center of the interior wall. Windows and doors are measured from the inside of the opening, not the outside of the frame.



FOUNDATION PLAN



SECTION

ELEVATIONS HELP YOU PLAN WHERE
THE DOORS AND WINDOWS WILL GO

The Foundation Plan: A foundation is used to distribute the weight of the building over the land on which it sits. If you are not adding to your house, you do not need this drawing. If you are pouring more foundation, you will need to show the position and size of footings and floor materials. Footing sizes and spacings are fairly standardized, and you can check with your building department to find out what standards apply to your project.

Trace over the walls of your floor plan to determine where foundation members will be drawn. Typically, you will be choosing between wood floor construction or concrete slab floor construction. Usually, exterior walls are load bearing (holding up ceilings and roofs), and they are supported by concrete load-bearing footings. Interior walls rest directly on supporting piers under wood floors or directly on the concrete floor slab.

You will need to note the thickness of the concrete slab or the size and location of the concrete piers, wood girders and wood beams supporting wood flooring.

You should also draw a section of the foundation showing the relationship between the soil, footing and floor system. Outside walls will sit on the outside edge of a footing, while inside walls will be centered on a footing.

Sections: Section drawings literally slice through the building to show construction details. Your drawings need not be complex, but should include the following:

- how the wall frame connects to the foundation
- how walls connect to ceilings and the roof
- roof slope
- size of framing members (rafters, studs, joists, etc.)
- quality and type of materials used (clear redwood)
- 18-inch minimum distance from wood flooring to dirt
- heights between floors and ceilings

Exterior Elevations: Elevations are drawn to show roughly what a building will look like when it is finished. They can be simple quick sketches showing the relationship of an addition to the existing house; position and heights of windows, doors and exterior vents; and roof slopes and overhangs.

Measurements for elevations do not need to be exact. But you should use your floor plan to give you the correct widths and locations of all wall openings. Also note the type of exterior finish materials you plan to use.

SHEDS AND GARAGES

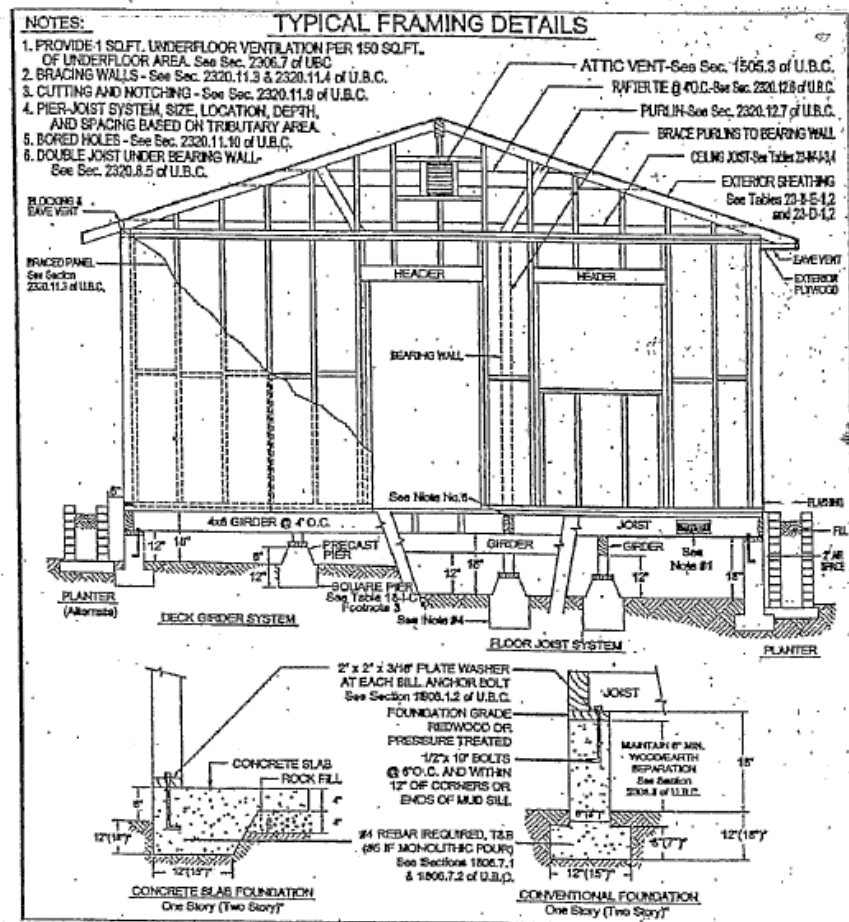
"A Quick How-To"

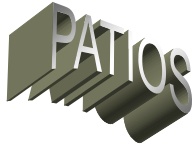
What Conditions Trigger the Need for a Shed Permit.

1. More than 120-square feet in size.
2. Occasionally other conditions will apply due to Zoning regulations. Generally, sheds need to be 5-feet from, all property lines except for Crossroads it is 10-feet from rear property line. Check with your local Building Department for the regulations affecting your property.
3. An electrical permit is needed for a circuit to supply the shed, if you want one. A simple GFCI protected 20-amp 110 circuit could power a switch light a a couple of small power tools.

Things to consider before you begin.

1. The surface of a concrete slab floor needs to be at least 6-inches above the surrounding earth to help keep the wood dry.
2. Use wood treated for use on concrete and build up from there.
3. Build on a firm "undisturbed" level soil so the slab does not settle and crack.
4. An electrical circuit can be run underground easily in plastic electrical conduit with wiring designed for the purpose and load.





Thinking about building a patio cover? It is really not all that difficult . . . with this bit of information.

- ✓ If you are proposing a concrete slab only, no permit is required.
- ✓ If you are proposing a shade structure (trellis) or a solid cover – a building permit is required.

In order to obtain a permit, you will need approval from the Planning and Building Divisions. In order to acquire approval from the Planning Department, you will need to meet zoning requirements. Zoning regulates development such as setback distances from property lines as in front yard, rear yard and side yard and building coverage.

The following information is required to be submitted:

- ✓ 3 sets of plans
- ✓ 3 sets of plot plans (a footprint of your property with your house, garage and any other structures located on the property, distances of the structures from property line(s) and the distances between the structures. You can develop a plot plan by measuring your home and the setback distances from the property line as they exist.
 - First determine the size of your lot. Dimension may be obtained from an assessor's park map (check with the Building Department).
 - Physically determine the location of the property lines on the site (sometimes on new tracts the lot corner is marked at or near the sidewalk)
 - Continue measuring the front, side and rear yard setbacks; transfer the measurements to a sheet of paper to a convenient scale.
 - When completed, your plot will show your existing condition. See the attached illustration.

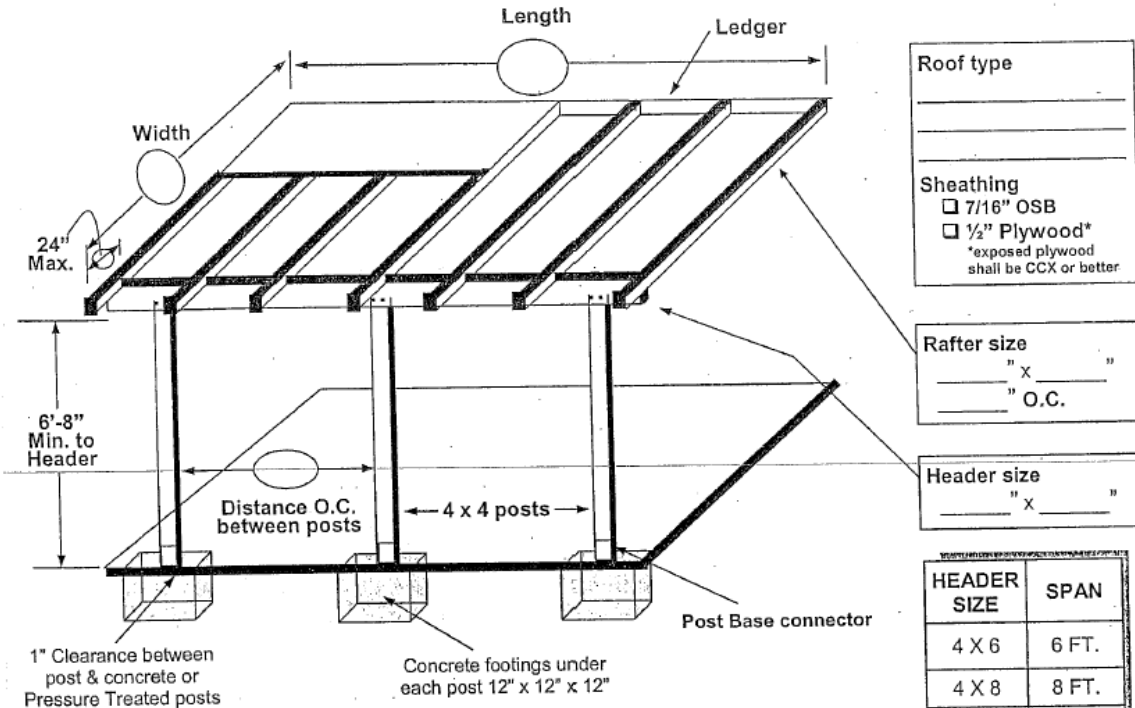
Patios, ***attached & detached*** from the main structure shall meet the following criteria:

- ✓ Patio covers shall be located 5-feet from the side and rear property lines, except for Crossroads rear setback is 10-feet.
- ✓ Attached & Detached cover shall be a minimum of 5-feet from waters edge if located near a swimming pool.
- ✓ Detached cover shall be a minimum of 6-feet from the main structure and any other structures on the property.
- ✓ Building coverage is limited to 50% of your lot.

FRAMING-FOUNDATION PLAN FOR PATIOS

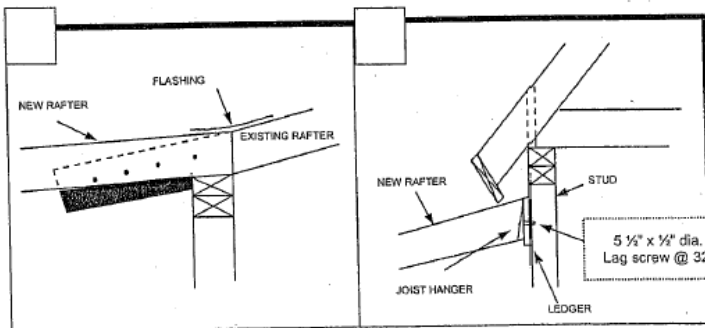
Along with your building permit application, please submit:

- 2 sets of plans
- 2 sets of plot plans (drawing of your property showing your house and any other structures,



- Cover supports shall be located 5-feet from the side and rear property lines
- Cover over-hang may encroach into the side or rear yard setback a maximum of 2-feet
- Building coverage is limited to 50% of your lot

METHODS OF ATTACHMENT - CHECK ONE



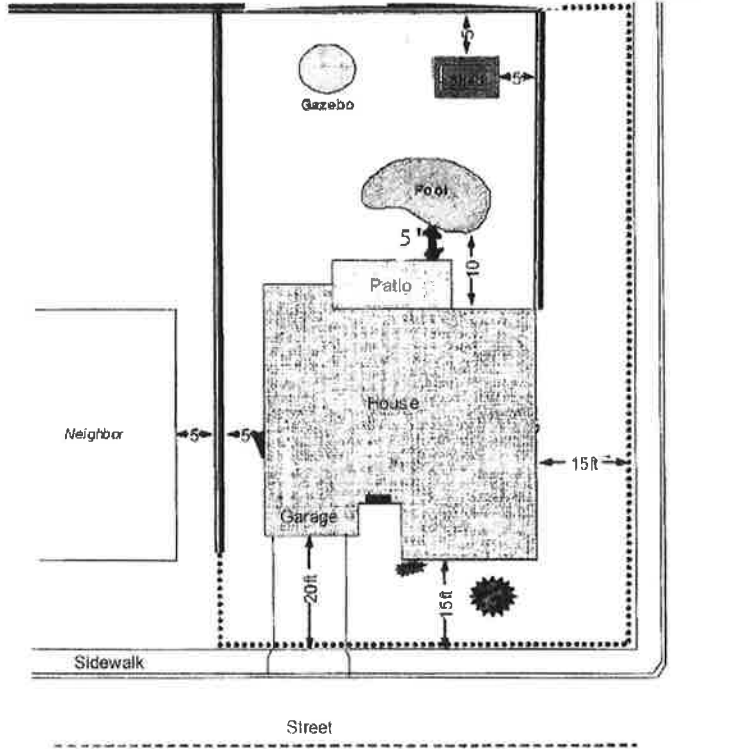
RAFTER SIZE	SPACING	SPAN ALLOWED
2 X 6	12"	12' - 4"
	16"	10' - 8"
	24"	8' - 8"
2 X 8	12"	16' - 3"
	16"	14' - 0"
	24"	11' - 6"
2 X 10	12"	20' - 8"
	16"	17' - 11"
	24"	14' - 8"
2 X 12	12"	25' - 2"
	16"	21' - 9"
	24"	17' - 9"



PLOT PLAN ILLUSTRATION

Patio Cover - Garden Shed - Pool - Gazebo

Provided as a visual representation of the minimum standards applicable to residential zones (R1, R2, R3).

CROSSROADS 10-FT. SET BACK FROM BACK PROPERTY LINE.



-  = max 7 ft. fence
-  = max 3 ft. (solid)
max 7 ft. (wire or non-solid fences that do not limit visibility)

Notes:

Fences that are 7 ft. and below do NOT require a building permit.

BUILDING PERMIT FEE

These fees are paid at the time a building permit is issued. At the time the plans are submitted to the Building Department, a plan checking fee, to be determined at submittal, shall be paid. Building permit fees for residential construction are based on the valuation computed by the Building Industry Standards. The attached building valuation data sheet is used by the Building Department to determine this valuation based upon use and occupancy. Plumbing, mechanical and electrical fees will be based upon the number of fixtures, vents, etc., (refer to the attached sample building permit). In some instances, grading permits are also required.

To Obtain Valuation for Single Family Dwelling:

Living Area	\$119.73 per square ft from 1500 sq. ft. and up
Garages	\$46.63 per sq. ft.
Carports/covered porches/patios	\$46.63 per sq. ft.

Example:

1500 sf	x	\$119.73 living area	\$179,595.00
183 sf	x	\$46.63 carport/covered porches/patios	\$ 8,533.29
485 sf	x	\$46.63 garages	\$ 22,615.55
Total Valuation:			\$210,743.84

With this valuation, you must refer to Table "A" of the 1997 Uniform Administrative Code to compute your building permit fee.

Example:

Valuation:	\$210,743.84
Round-off to:	\$211,000.00
Minus First \$100,000.00	<u>-\$100,000.00</u>
	\$111,000.00

\$ 993.75 for the 1st \$100,000.00
 \$ 5.60 for each additional \$1000.00 or fraction of (16x\$5.60 = \$89.60)
 \$ 993.75 + \$89.60 = \$1,083.35

Multiply the building permit fee by 65% to obtain the plan checking amount.
 $\$1083.35 \times 65\% = \704.18

QTY	PLUMBING PERMIT		AMT. \$23.50
	EACH FIXTURE TRAP	\$ 9.80	
	EACH BUILDING SEWER	24.65	
	EACH WATER HEATER AND/OR VENT	12.30	
	EACH GAS SYSTEM 1 TO 5 OUTLETS	6.15	
	EACH GAS OUTLET OVER 5	1.10	
	EACH INSTALL, ALTER, REPAIR WATER PIPE	4.75	
	EACH LAWN SPRINKLER SYSTEM	14.80	
	POOL: \$60.75 SPA: \$30.35		
Total Plumbing			
QTY	ELECTRICAL PERMIT		AMT. \$23.50
	SERVICE LESS THAN 600V-200A	\$ 30.50	
	SERVICE OVER 600V-200A	62.15	
	SUBPANEL LESS THAN 200A	30.50	
	POOL-SPA	49.50	
	TEMPORARY POWER	23.50	
	EACH POWER APPARATUS (1-10 HP)	12.30	
	EACH APPLIANCE	4.75	
	SIGNS 1-CIRCUIT (\$3.00 EA. ADDITIONAL CIRCUIT)	24.50	
	NEW CONSTRUCTION		
Total Electrical			
QTY	MECHANICAL PERMIT		AMT. \$23.50
	INSTALL FURN DUCTS UP TO 1000,000 BTU	\$ 14,80	
	INSTALL FURN DUSTS OVER 1000,000 BTU	18.20	
	BOILER/COMPRESSOR UP TO 3MP/1000,000 BTU	14.70	
	WATER COOLER	10.65	
	MECH. EXHAUST – HOOD/DUCT	10.65	
	VENT FAN SINGLE DUCT	7.25	
	AIR HANDLER UP TO 10,000 CFM	10.65	
	AIR HANDLER OVER 10,000 CFM	18.10	
Total Mechanical			

SUMMARY OF PERMIT FEES

Based Upon a 1,500 Square Foot Plan with A Valuation Of \$210,743.84

BUILDING PERMIT FEE	\$1,039.67
PLAN CHECK FEE	675.79
PLUMBING/ELECTRICAL/MECHANICAL (APPROXIMATE)	300.00
CONNECTION FEE**	400.00
SEWER CONNECTION FEE	800.00
UTILITY DEPOSIT	60.00
STRONG MOTION TAX	10.82
BUILDING FILE MAINTENANCE FEE	4.50
CITY OF RIVERBANK SYSTEM DEVELOPMENT FEE * SEE TABLE ON PAGE 15	*\$
STANISLAUS COUNTY SYSTEM DEVELOPMENT FEE * SEE TABLE ON PAGE 16	*\$
WATER SALES	26.27
SEWER PLANT MASTER PLAN	15.15

***Permit fees will vary upon type of construction and may not be subject to all of the fees listed above. Please check with the Building Department and/or page #15 & 16.

BUILDING VALUATION DATA

The following "building valuation data" represents the data of the average costs for the majority of buildings. The unit costs are intended to be applied to the definition of "valuation" in Section 223 of the Uniform Building Code of 1997 and include architectural, structural, electrical, plumbing, and mechanical work, with the exceptions of those mentioned on the list below. The costs of the units include the earning of the contractors, which should not be omitted.

DWELLING:

Type V – wood frame.....\$119.73 per square foot

PRIVATE GARAGES:

Wood Frame.....\$46.63 per square foot

Carport

Front porch

Patio..... \$46.63 per square foot

**System Development Fees
Effective Sept. 8, 2020
Reso# 2020-071**

Land Use	Water	Sewer	Storm Drainage	Parks/ Rec.	General Govt.	Traffic	5% Admin ¹	Total
Residential	Per DU	Per DU	Per DU	Per DU	Per DU	Per DU	Per DU	Per DU
Clustered Rural (RR)	\$13,958	\$5,199	\$7,899	\$3,562	\$1,290	\$4,308	\$1,811	\$38,027
Lower Density (LDR)	\$7,270	\$3,170	\$7,164	\$4,049	\$1,466	\$3,625	\$1,337	\$28,081
Medium Density (MDR)	\$6,979	\$2,648	\$2,892	\$3,470	\$1,255	\$3,199	\$1,022	\$21,465
Higher Density (HDR)	\$5,060	\$3,251	\$3,264	\$2,892	\$1,046	\$2,730	\$912	\$19,156
Mixed Use (Residential) (MU)	\$5,060	\$984	\$2,112	\$2,524	\$914	\$2,730	\$716	\$15,041
Non-Residential	Per Square Foot	Per Square Foot	Per Square Foot	Per Square Foot	Per Square Foot	Per Square Foot	Per Square Foot	Per Square Foot
Community Commercial (CC)	\$2.14	\$1.71	\$4.40	N/A	\$0.38	\$5.67	\$0.72	\$15.02
Mixed Use (Commercial) (MU)	\$2.15	\$1.72	\$4.37	N/A	\$0.38	\$4.52	\$0.66	\$13.80
Industrial/Business Park (I/BP)	\$2.13	\$1.45	\$4.31	N/A	\$0.28	\$4.31	\$0.62	\$13.10
Office (MU LU Classification)	\$2.10	\$1.34	\$4.22	N/A	\$0.53	\$6.91	\$0.75	\$15.85

SCHOOL FEES

These fees are charged and collected by the school districts. Building permits will not be issued until proof of payment or exemption from the school district(s) is provided. Generally, the fees are as follows:

However, please contact the school district to verify the fee or any development subject to their requirements.

- Residential fees are based on the total living area per square foot.
- Commercial/industrial fees are based on the total square footage per square foot.
- Riverbank Unified School District – 6715 7th St., Riverbank CA 95367 – (209) 869-2538 x 123 - Kristin Burkett
- Modesto/Sylvan School District – 426 Locust St., Modesto CA 95351 – (209) 576-4032 - Cyndy Campbell

FIRE FEES

These fees are charged and collected by the fire district. Building permits will not be issued until proof of payment or exemption from the fire district is provided. Generally, the fees are as follows:

However, please contact the fire district to verify the fee or any development subject to their requirements.

- Residential with and without fire sprinklers
- Commercial/Industrial with and without fire sprinklers
- Consolidated Fire District – 3318 Topeka St., Riverbank CA 95367 – (209) 869-7470.

STANISLAUS COUNTY DEVELOPMENT FEES the City of Riverbank has entered into an inter-agency agreement with Stanislaus County to collect the Stanislaus County Development Fees. Should you have questions regarding the purpose and application of these fees to your project, please contact the Stanislaus County Planning Department at (209) 525-6330. The following fee schedule is January 1, 2019.

SINGLE FAMILY	MULTI-FAMILY	SENIOR HOUSING
\$7,993.00/UNIT	\$5,032.00/UNIT	\$5,032.00/UNIT

Commercial Development Fees

OFFICE	\$4,389.00
INDUSTRIAL	
<input type="checkbox"/> SMALL	\$1,819.00
<input type="checkbox"/> LARGE & MANUFACTURING	1,982.00
<input type="checkbox"/> DISTRIBUTION	2,119.00
<input type="checkbox"/> WAREHOUSE	1,115.00
COMMERCIAL	
<input type="checkbox"/> SMALL RETAIL	\$2,707.00
<input type="checkbox"/> MEDIUM RETAIL	3,716.00
<input type="checkbox"/> SHOPPING CENTER	3,485.00
<input type="checkbox"/> SHOPPING MALL	2,390.00
CHURCH	\$1,324.00
HOSPITAL	1,842.00
NURSING HOME	1093.00
SPECIAL CASES	
<input type="checkbox"/> DRIVE THROUGH (PER LANE)	\$17,952.00
<input type="checkbox"/> GAS STATION (PER PUMP)	7,002.00
<input type="checkbox"/> MOTEL/HOTEL (PER ROOM)	720.00
<input type="checkbox"/> GOLF COURSE (PER ACRE)	865.00

SEWER CONNECTION FEES – Residential - These fees are paid at the time a building permit is issued.

Subdivision Lots – Single Family

- ❑ \$400.00/dwelling unit if the sewer lateral has been installed
- ❑ \$30.00 inspection fee, number of inspections to be determined.

Fill-in Lots

- ❑ \$4,420.00/dwelling unit plus \$7.00/lineal foot of street frontage if no sewer lateral exists.
- ❑ \$400.00/dwelling unit if a sewer lateral exists.
- ❑ \$30.00 inspection fee, number of inspections to be determined.

Duplex or Tri-plex

- ❑ \$400.00/dwelling unit plus \$7.00/lineal foot of street frontage if no sewer lateral exists.
- ❑ \$400.00/dwelling unit if a sewer lateral exists
- ❑ \$30.00 inspection fee, number of inspections to be determined.

Multi-Family

- ❑ \$400.00/dwelling unit plus \$7.00/lineal foot of street frontage if no sewer lateral exists.
- ❑ \$400.00/dwelling unit if a sewer lateral exists
- ❑ \$30.00 inspection fee, number of inspections to be determined.

SEWER CONNECTION FEES – Commercial - These fees are paid at issuance of a building permit and will be determined during the plan check process.

Commercial establishments – domestic only per unit \$1,000.00

Commercial establishments which discharge dishwater, including, but not limited to Laundromats, car washes or discharge from garbage grinders:

❑ First 1000 sq. feet of floor area \$ 1,200.00

Each 100 sq. feet or fraction of additional floor area 100.00

Industrial establishment – domestic only 1,000.00

Industrial establishment with discharge other than domestic TBD

WATER CONNECTION FEES - Residential - These fees are paid at the time a building permit is issued.

Subdivision Lots - Single Family

\$400.00/dwelling unit to be paid prior to recording of final map.
\$75.00 inspection fee, number of inspections to be determined.

Fill-in Lots with Existing Residential Unit(s)

\$1,700.00 with no existing stub-out
\$800.00 with existing stub-out
\$75.00 inspection fee, number of inspections to be determined.

Duplex or Tri-plex New Construction

\$1,700.00 per unit with no existing stub-out
\$800.00 with existing stub-out
\$75.00 inspection fee, number of inspections to be determined.

Multi-Family New Construction

\$1,700.00 per unit with no existing stub-out
\$800.00 with existing stub-out
\$75.00 inspection fee, number of inspections to be determined.

WATER CONNECTION FEES - Commercial - These fees are paid at the time a building permit is issued and will be determined during the plan check process.

Commercial establishments

\$1,700 with no existing stub-out
\$800.00 with existing stub-out
\$75.00 inspection fee, number of inspections to be determined.

WATER METERS

Applicant to purchase and install own water meter by Public Works standards. Contact Public Works at 869-7128 for water meter information.

INTERIOR REMODEL GUIDELINES FOR BUILDING PERMITS

The City of Riverbank enforces the 2019 California Building Code, Plumbing and Mechanical Codes, Electrical Code and Energy Code.

SUBMITTAL REQUIREMENTS

- Completed Building Permit application

PROVIDE THREE COPIES OF THE FOLLOWING:

- Floor plan of existing and new areas including:
Use of rooms (i.e. kitchen, bath, bedroom, etc.)
Size of doors and windows, specify header/beam sizes for all new openings
All room and wall dimensions.
- Exterior building elevations showing:
The addition of a new exterior door or window.
- Roof framing plan:
(Only if removing or enlarging an existing bearing wall or opening)
Provide one of the following:
Conventional roof – showing direction, size and spacing of rafters
Truss roof – with layout and engineered truss calculations.
- Cross section showing typical framing:
Specify header/beam sizes for all new openings.
Details of framing and connections.
- Electrical Plan
Indicate all new and existing light fixtures and electrical outlets.
Show location and size of existing electrical plan.
- Energy Compliance Forms
Title 24's

Note: Plans must be signed by the preparer and all engineering must be wet stamped and signed by a licensed architect or engineer.

PLAN SUBMITTAL STANDARDS RESIDENTIAL AND COMMERCIAL CONSTRUCTION

The following information is required when applying for a building permit for the City of Riverbank. Each application will require specific information according to the type of work being performed. Please check with the Building Department as to what information will be required for your specific project. **For MASTER PLAN CHECK, a deposit shall be required.**

1. Residential Plan Submittal Requirements.

Four (4) sets of plans shall be submitted to the Building Department

- 3-full sets
- 1-reduced set (11x17)
- 2-sets Title 24 energy calculations signed with Wet Stamp
- 2-sets truss calculations with Wet Stamp
- If engineering is required, the calculations have to be submitted with a Wet Stamp

2. Commercial Plan Submittal Requirements (NEW CONSTRUCTION & TENANT IMPROVEMENTS)

Five (5) sets of plans shall be submitted to the Building Department

- 4-full sets
- 1-reduced set (11x17)
- Title 24 energy calculations signed and with Wet Stamp
- If engineering is required, the calculations have to be submitted with a Wet Stamp
- Plans shall be submitted to the Consolidated Fire District, 3324 Topeka St., Riverbank, CA 95367. *Clearance is required prior to issuance of building permit.*
- If your project is connected with food preparation plans shall be submitted to the County Health Department, 3800 Cornucopia, Modesto, CA (off Crows Landing Road) *Clearance is required prior to issuance of building permit.*

PLEASE BE ADVISED THAT A BUILDING PERMIT APPLICATION WILL NOT BE ACCEPTED UNLESS THE REQUIRED INFORMATION IS SUBMITTED, A PLAN CHECK FEE (TO BE DETERMINED AT THE TIME OF PLAN SUBMITTAL) WILL BE REQUIRED AND APPLIED TOWARDS THE TOTAL COST OF YOUR PERMIT. BUILDING PERMITS WILL NOT BE ISSUED UNTIL CLEARANCE IS RECEIVED FROM THE PLANNING DEPARTMENT, FIRE DEPARTMENT, SCHOOL DISTRICT AND COUNTY HEALTH DEPARTMENT, IF PERTINENT TO YOUR APPLICATION FOR CONSTRUCTION.



City of
Riverbank

Building
Division
6707 Third
Street
Riverbank, CA 95367
209.863.7128 fax 209.869.7126

All plans are required to be signed by a California Registered Engineer or Architect except as follows:

1. Section 5537 of the California Business & Professions Code:

Exemptions per Section 5537 of the Business & Professions Code are applicable to building plans that have been designed in accordance with the conventional framing requirements of Chapter 23 of the 2010 edition of California Building Code and tables of limitation for wood frame construction.

An unlicensed person may prepare plans, drawings or specifications for the following:

- Single family dwelling not more than two stories and basement in height.
- Multiple dwellings containing no more than four dwelling units and not more than two stories and basement in height. Also, maximum of four dwelling units on any lot.
- Garages or other structures appurtenant to single family dwelling or multiple dwellings not more than two stories and basement in height.
- Agricultural and ranch buildings unless the Building Official deems that an undue risk to the public health, safety, or welfare is involved.

However, if any portion of any structure exempted by this section deviates from conventional framing requirements for wood frame construction found in Chapter 23 of the 2010 edition of the California Building Code or Chapters 5, 6 and 8 of 2010 California Residential Code, the Building Official may require the preparation of plans, drawings, specifications or calculations for that portion by, or under the direct supervision of, a registered engineer or architect. The documents for that portion shall bear the stamp and signature of the licensee who is responsible for their preparation.

2. Sections 5538 of the California Business & Professions Code:

This chapter does not prohibit any person from furnishing plans for any of the following:

- Nonstructural storefronts, interior alterations or additions, fixtures, cabinetwork, furniture, or other appliances or equipment.
- Any non-structural works necessary to provide for their installation.

However, an unlicensed person may not prepare plans for those alterations that will change or affect any components of the structural system or safety of the building or its occupants.

Plans prepared for the following projects except as specifically noted above, shall be deemed as affecting the safety of a building or its occupants and shall be stamped and signed by a registered engineer or architect:

- New buildings, additions to existing buildings
- Projects with interior or exterior structural alterations
- Interior alteration with an occupancy alteration
- Interior alteration with walls and partitions over 6' in height or ceiling work which cover a floor area greater than 3,000 square feet in B, F-1, F-2, S-1, S-2 and M occupancies.
- Storage racks over 6' in height
- Remodeling projects with changes to 1-hr rated corridors, fire barriers, fire partitions or fire walls
- Alteration with changes to exiting requirements
- Hazardous occupancies: H1, H2, H3, H4 and H5
- Assembly occupancies: A-1, A-2, A-3, A-4 and A-5
- Alterations or additions to restaurants, grocery stores and other food facilities
- Alterations or additions that require upgrading or modifications to accessibility design and construction such as path-of-travel, accessible toilet rooms, etc
- Tanks and vessels
- Machinery and equipment requiring design per the 2010 CBC and ASCE 7-05 Chapters 13 and 15
- Roof mounted mechanical equipment
- School and day care occupancies E and I-4
- Hospital occupancies: I-1, I-2, and I-3
- Projects with S-1, S-2, F-1 and F-2 occupancies
- Hotel, motel, condominium and apartment occupancies classified as R-1 and R-2 occupancies
- Projects with mixed occupancies
- Remodeling projects in a high-rise (having floors over 75' in height) building
- Lateral force resisting systems utilizing poles embedded in the ground
- Cripple walls exceeding 4' in height or adjacent to garage door openings
- Any project deemed by Building Official to require professional design by a California Registered Engineer or Licensed Architect

BUILDING DESIGN LIMITATIONS
Updated 8/12/2004

ARCHITECTS

May design any building of any type except:

- structural portion of a hospital

APPLICABLE STATUTES

Section 129805 of Health & Safety Code
Sections 5500.1 and 6737 of Business & Professions Code

CIVIL ENGINEERS

May design any building of any type except:

- hospitals
- schools

APPLICABLE STATUTES

Section 129805 of Health & Safety Code
Section 17302 of Education Code
Sections 5537.5, 6731, and 6735 of Business & Professions Code

STRUCTURAL ENGINEERS

May design any building of any type:

- no limitations

APPLICABLE STATUTES

Sections 5537.1, 6731, and 6736 of Business & Professions Code

UNLICENSED PERSONS

May design the following:

Single-family dwellings of wood frame construction not more than two stories and basement in height.
Multiple dwellings containing not more than four dwelling units of wood frame construction not more than two stories and basement in height. No more than four dwelling units per lot.

Garages or other structures appurtenant to single-family dwelling, of wood frame construction not more than two stories and basement in height.

Agricultural and ranch buildings of wood frame construction, *unless the building official having jurisdiction deems that an undue risk to the public health, safety, or welfare is involved*

Nonstructural or no seismic storefronts, interior alterations or additions, fixtures, cabinetwork, furniture, or other appliances or equipment, including nonstructural or no seismic work necessary to provide for their installation.

May not design:

Any component that changes or affects the safety of any building, including but not limited to structural or seismic components.

NOTE: Building officials may require plans, computations, and specifications to be prepared and designed by an engineer or architect licensed by the state to practice as such even if not required by state law.

APPLICABLE STATUTES

Sections 5537, 5538, and 6737.1 of Business & Professions Code